





# US POST OFFICE - BUILDING 110

i. SINCE BUILDING 110 25-MAY-1943, WE PRESUMED ALL INTERIOR WALLS PAINT IS LBP AND ALL MASTIC, JOINT COMPOUND, PIPING INSULATION, FLOORING SYSTEMS, ETC. **SHALL BE ABATED BY THE CONTRACTOR.**

ii. IN ADDITION, THROUGHOUT THE PAST DECADES THE BUILDING 110 THE INTERIOR USE OF THE BUILDING HAS BEEN WARNED OUT. REFER TO APPENDIX A (in scope of work).

iii. THE MAYOR REPAIRS CAN BE PRIORITIZED, BUT NOT LIMITED TO:

- a. CONTRACTOR SHALL REPLACE THE ROTTED WOOD, TO INCLUDE (BUT NOT LIMITED) DOORS, WINDOWS, TRIMS AND MOLDINGS. FOR DAMAGED AREAS, SEE APPENDIX A (IN SCOPE OF WORK).
- b. **ALL EXTERIOR DOORS AND WINDOWS SHALL BE REPLACED TO MATCH EXISTING HISTORICAL OPENINGS; REFER TO DRAWINGS AND PHOTOS. INTERIOR DOORS SHALL BE REPAIR AND REPAINTED.**
- c. CORNER WALLS SHALL BE REPAIR REPAINT. STAINLESS STEEL CORNER GUARDS SHALL BE INSTALLED AS INDICATED IN THE DRAWINGS, REFER ALSO TO PICTURES IN APPENDIX A.

iv. ALL FINISH COLORS SHALL BE SELECTED BY CULTURAL RESOURCE MANAGEMENT WHERE NOT OTHERWISE INDICATED. REFERENCED MATERIALS REPLACEMENTS ARE TO MATCH IN TYPE, COLOR, AND PROFILE U.N.O.

v. CONTRACTOR SHALL FIELD VERIFY (FV) DIMENSIONS AND ALL EXISTING CONDITIONS PRIOR TO PROCEED WITH THE WORK. EXISTING CONDITIONS ARE BASED ON GOVERNMENT FURNISHED EXISTING DRAWINGS (DATED 1954) AND LIMITED FIELD INVESTIGATION. NOTIFY COR OF ANY DISCREPANCIES.

## GENERAL NOTES:

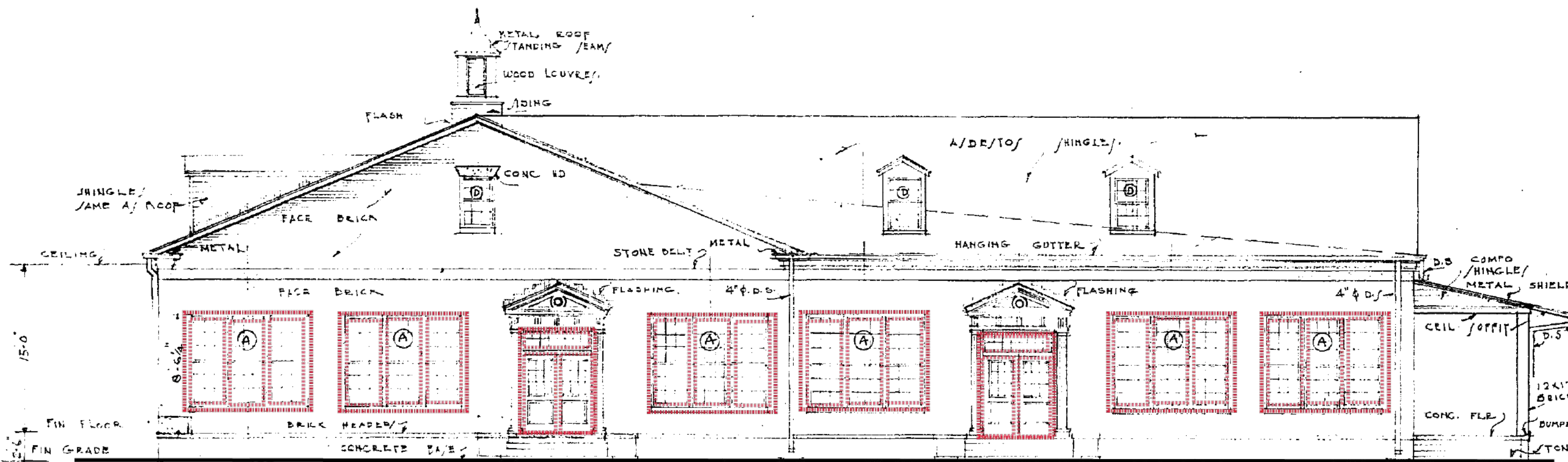
- i. THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED A/E FIRM'S DRAWINGS AND SPECIFICATIONS, APPROVED CONSTRUCTION SUBMITTALS, AND BASED ON THE DIRECTORATE OF PUBLIC WORKS (DPW) DRAWINGS, SPECIFICATION, AND SOW.
- ii. ALL WORK SHALL BE PERFORMED PER INDUSTRY STANDARDS OR TO MEET FEDERAL, STATE, OR LOCAL CODES AND REGULATION. WORK WILL NOT BE SLOPPY OR CARELESSLY PERFORMED.
- iii. CONTRACTOR TO COORDINATE WORK SCHEDULE WITH COR AND BUILDING MANAGEMENT.
- iv. PREVENT DAMAGE TO MATERIALS AND FINISHES TO REMAIN. REPAIR DAMAGES FROM CONSTRUCTION ACTIVITIES TO EXISTING ITEMS, AT NO ADDITIONAL COST.
- v. REMOVE COMPLETELY ALL MATERIALS AS INDICATED ON THE DRAWINGS AND AS REQUIRED FOR NEW CONSTRUCTION. SURFACES SHALL BE PREPARED AS INDICATED OR SPECIFIED PRIOR TO INSTALLATION OF NEW MATERIALS.
- vii. REPAIR/PAINT AND RELOCATE EXISTING LOCKERS.

## EXTERIOR:

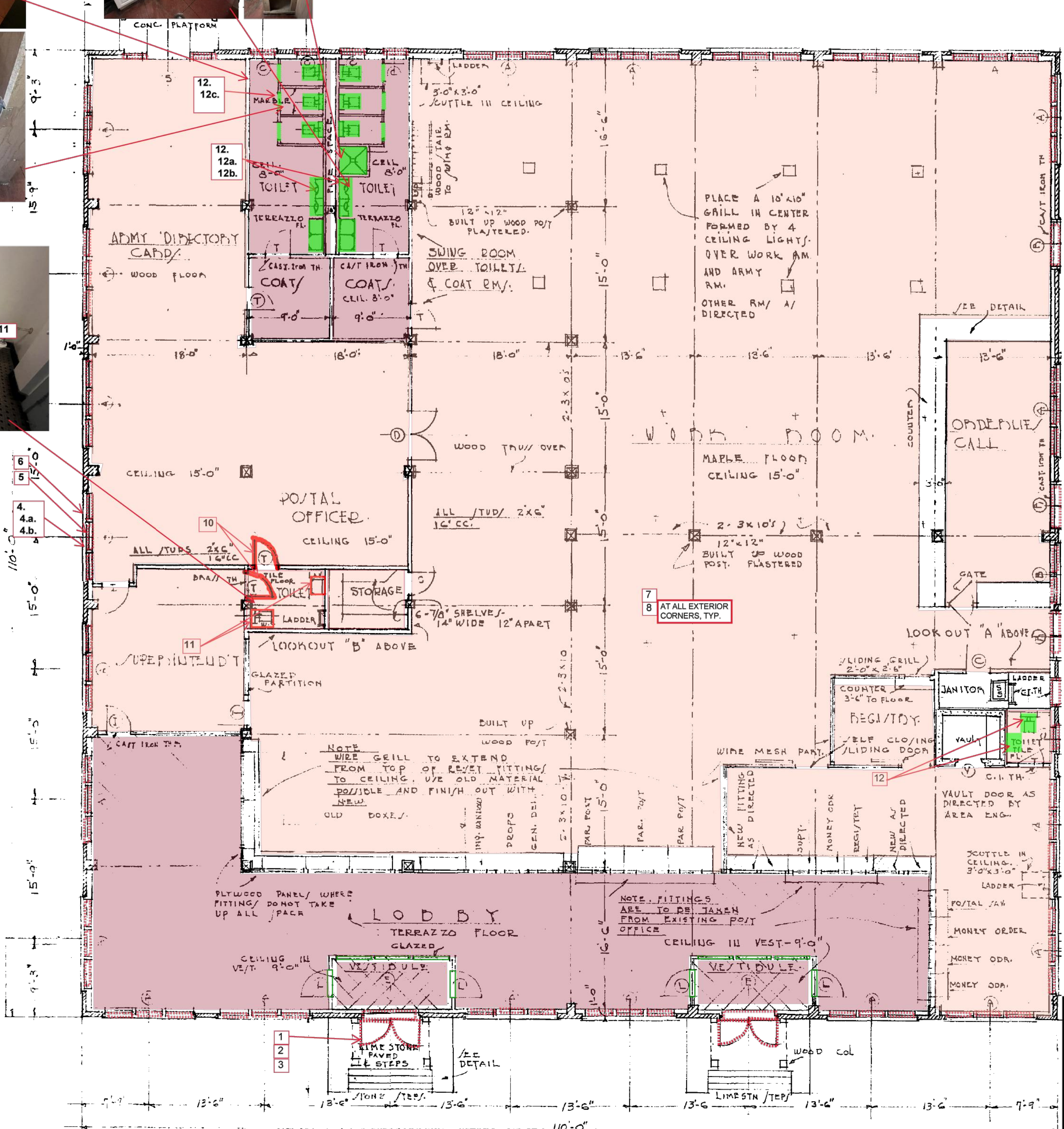
- DOORS:**
1. REMOVE AND REPLACE **ALL EXTERIOR DOORS** (MATCH EXISTING).
    - a. CONTRACTOR SHALL REMOVE ALL EXTERIOR DOORS FROM THE FACILITY.
    - b. CONTRACTOR SHALL PROVIDE NEW INSULATED EXTERIOR DOORS TO MATCH EXISTING, REFER TO HISTORICAL PICTURES.
  2. ALL HARDWARE DOORS SHALL BE REPLACED.
  3. REMOVE AND REPLACE ALL DOOR TRIMS. (MATCH EXISTING)
- WINDOWS:**
4. REMOVE AND REPLACE **ALL WINDOW**.
    - a. CONTRACTOR SHALL REMOVE **ALL EXTERIOR WINDOWS** FROM THE FACILITY.
    - b. **ALL WINDOW FRAMES** SHALL MATCH EXISTING HISTORICAL WINDOWS.
  5. REMOVE AND REPLACE WINDOW SEALANT.
  6. REMOVE AND REPLACE ALL WINDOWS TRIMS.

## INTERIOR:

7. DEMO ALL CORNER GUARDS.
8. PROVIDE NEW SS (STAINLESS STEEL) CORNER GUARDS (AT ALL EXTERIOR CORNERS, TYP.).
9. DEMO INTERIOR WALLS AS SHOWN ON SOW: APPENDIX A.
10. DEMO TWO INTERIOR DOORS, REFER TO DRAWINGS FOR LOCATION.
11. DEMO ALL PLUMBING FIXTURES ONLY AT ONE LOCATION. CLOSE/CAP AND SEAL ALL PLUMBING PENETRATIONS.
12. CONTRACTOR SHALL REMOVE AND REPLACE **ALL PLUMBING FIXTURES**, AND ANY ACCESSORIES, AS INDICATED IN THE DRAWINGS.
  - a. CONTRACTOR WILL PROVIDE WATER CLOSETS, URINALS, GRAB BARS, MIRRORS, SOAP DISPENSER, LAVATORIES, TOILET AND URINAL PARTITIONS, TOWEL DISPENSER, TOILET TISSUE DISPENSER, MOP SINK AND ALL ASSOCIATED HARDWARE. REFER TO DRAWINGS FOR ADDITIONAL INFORMATION.
  - b. **TOILET PARTITION TO REMAIN.** CONTRACTOR TO CLEAN AND REPAIR EXISTING (GRANITE) TOILET PARTITIONS.
  - c. CONTRACTOR TO INSTALL NEW SS **DOOR PARTITIONS**
13. REMOVE FLOORING, WALL FINISHES AND WALL BASE AS INDICATED, TYP. SEE SOW FOR MORE DETAILS.
14. PREPARE SLAB AS REQUIRED TO RECEIVE RESINOUS FLOORING. LEVEL EXISTING CONCRETE SLAB, AS REQUIRED, TYP.
15. PATCH AND REPAIR WALL AS REQUIRED, CLEAN AND REPAIR OTHER PRIMED SURFACES, TYP
16. CONTRACTOR WILL PROVIDE INTERIOR WALLS CONSISTING OF 3 5/8" METAL STUDS, 5/8" GYPSUM BOARD, INTERIOR PORTION OF THE EXTERIOR WALL REPAIR WILL BE 5/8" GYPSUM BOARD. IN AREAS WITH HIGH MOISTURE USE WATER RESISTANT GYPSUM BOARD AND AT FIRE PARTITIONS USE TYPE "X" GYPSUM BOARD. SEE DRAWINGS FOR LOCATION AND EXTENT OF WORK.
  - a. REPAIR AND PREPARE WALLS TO BE PAINTED.
17. THE CONTRACTOR WILL USE ARCHITECTURAL LATEX SEMI-GLOSS ON ANY ITEMS RECEIVING PAINT.
  - a. INTERIOR DOORS AND FRAMES WILL RECEIVE ONE PRIMER COAT WITH MILDEWCIDE ADDITIVE AND TWO TOPCOATS OF ARCHITECTURAL LATEX (SEMI-GLOSS). COLOR WILL BE SELECTED FROM MANUFACTURER'S STANDARD SELECTION.
  - b. DO NOT PAINT THE HARDWARE.
18. **ALL INTERIOR WALLS PAINT IS LBP AND ALL MASTIC, JOINT COMPOUND, PIPING INSULATION, FLOORING SYSTEMS, ETC. SHALL BE ABATED BY THE CONTRACTOR.**
19. **REPLACE ALL EXISTING LIGHT FIXTURES WITH NEW LED LIGHT FIXTURES.**
20. **ALL EXISTING TERRAZZO FLOORS TO REMAIN. RESTORE, GRIND DOWN, THE DAMAGED SURFACE, FOLLOWING BY HONING, POLISHING AND RE-SEALING.**



FRONT ELEVATION  
SCALE 1/8" = 1'-0"  
110'-0"



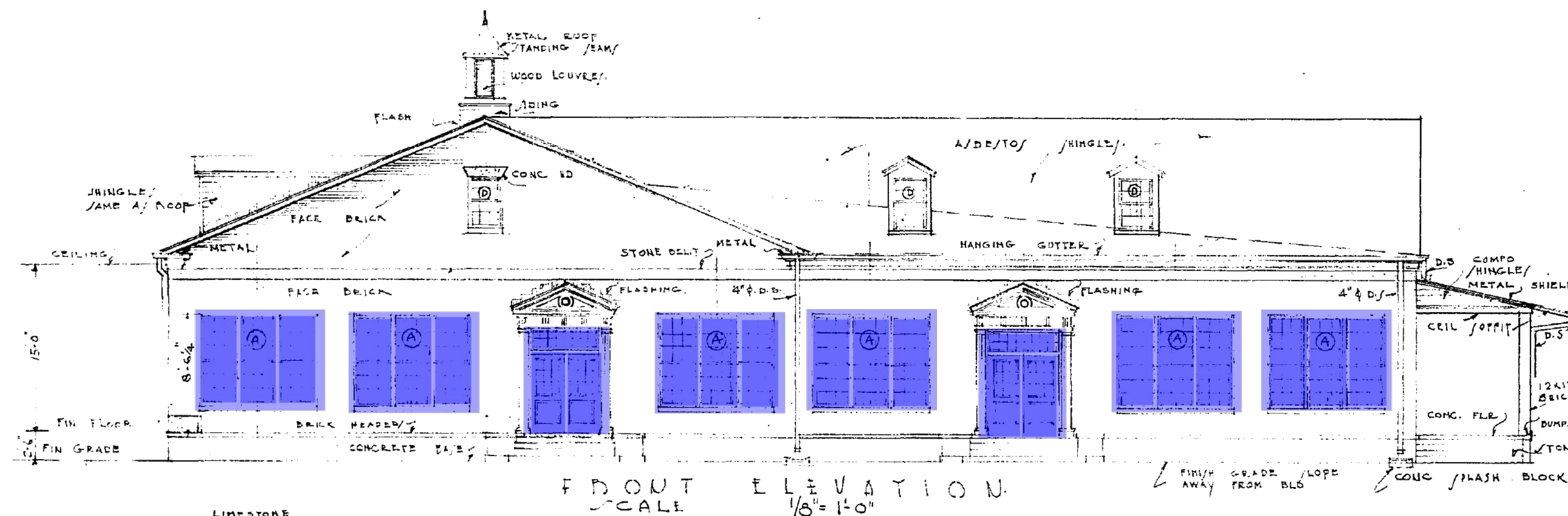
FLOOR PLAN  
SCALE 1/8" = 1'-0"

DEMO WORK LEGEND	
	EXTERIOR OPENINGS TO BE DEMO
	EXISTING TERRAZZO FLOOR TO REMAIN, GRIND AND RESTORE DAMAGED SURFACE.
	FLOORING SYSTEM TO BE DEMO AND ABATED
	DOORS AND PLUMBING FIXTURES TO BE DEMO
	PLUMBING FIXTURES TO BE REPLACED
	INTERIOR OPENINGS TO BE ABATED, AND REPAIRED

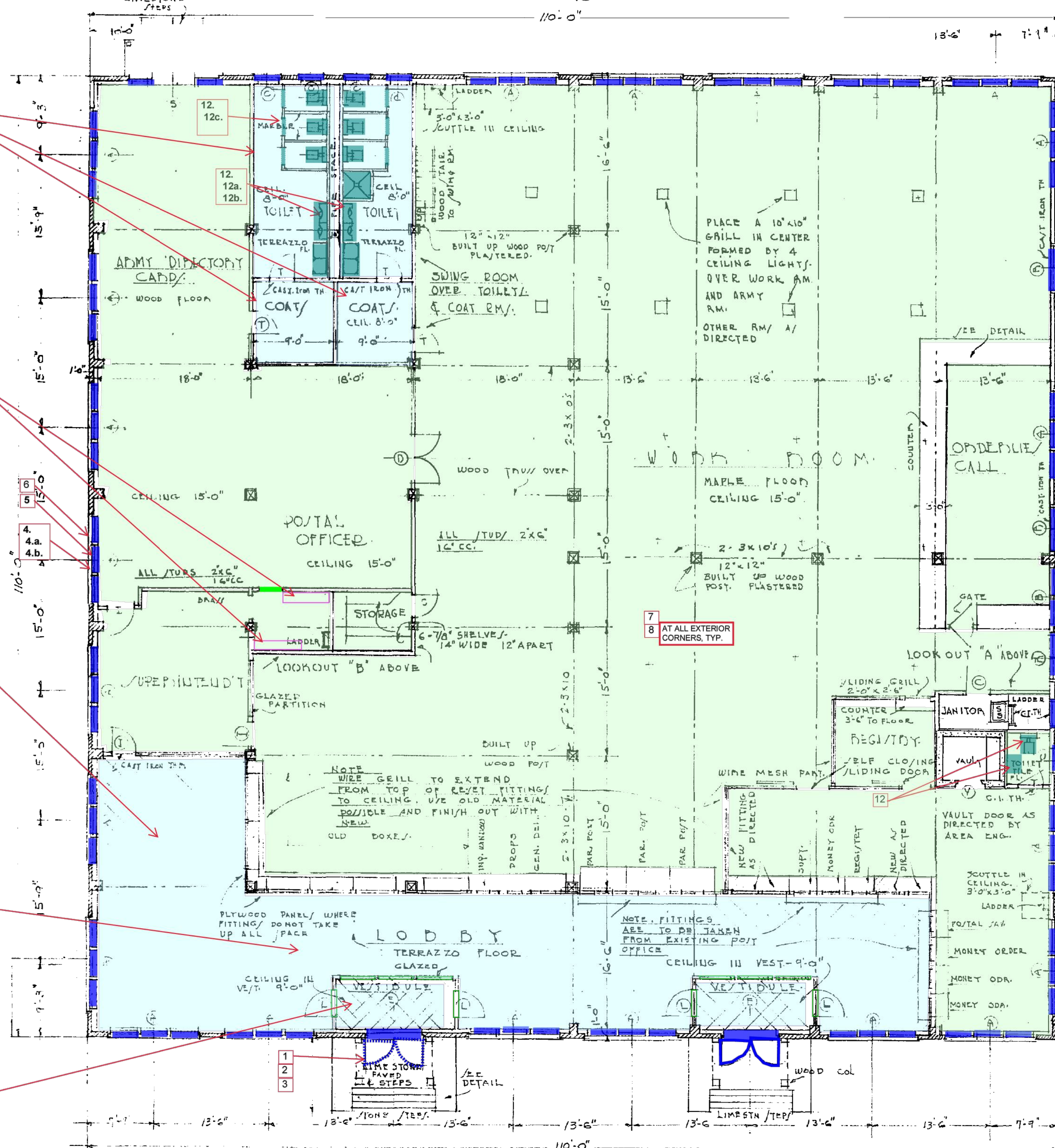
NEW WORK LEGEND	
	EXTERIOR OPENINGS TO BE REPLACED
	EXISTING FLOOR TO BE POLISHED AND RE-SEALED
	NEW FLOORING SYSTEM (INSTALLED - SEE SOW)
	FLOORS AND WALLS TO BE REPAIRED AND REPAINTED
	NEW PLUMBING FIXTURES
	ALL INTERIOR OPENINGS TO BE PAINTED

**FORT MOORE, GEORGIA**  
**US POST OFFICE - BUILDING 110**  
**DEMO WORK: FLOOR PLAN AND ELEVATIONS**  
**2/15/2024**





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SCALE 1/8" = 1'-0"



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**NEW WORK LEGEND**

- EXTERIOR OPENINGS TO BE REPLACED
- EXISTING FLOOR TO BE POLISHED AND RE-SEALED
- NEW FLOORING SYSTEM (INSTALLED - SEE SOW.
- FLOORS AND WALLS TO BE REPAIRED AND REPAINTED
- NEW PLUMBING FIXTURES
- ALL INTERIOR OPENINGS TO BE PAINTED

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